

TOWN OF PINETOP-LAKESIDE

RESOLUTION NO. 19-1501

A RESOLUTION OF THE MAYOR AND TOWN COUNCIL OF THE TOWN OF PINETOP-LAKESIDE, ARIZONA, DECLARING AS PUBLIC RECORD A CERTAIN DOCUMENT FILED WITH THE TOWN CLERK AND ENTITLED "TOWN CODE AMENDMENTS TO TITLE 17, CHAPTER 17.92 – LANDSCAPING REGULATIONS."

WHEREAS, that certain document entitled "**Town Code Amendments to Title 17, Chapter 17.92 – Landscaping Regulations,**" attached hereto as Exhibit A, three (3) copies of which shall be filed in the Office of the Town Clerk pursuant to this Resolution, shall remain on file with the Town Clerk.

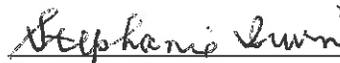
WHEREAS, A.R.S. § 9-802 permits the enactment and publication by reference of a code or public record, including statute, rule or regulation of the municipality, in the interest of economy, and

WHEREAS, the document entitled **Town Code Amendments to Title 17, Chapter 17.92 – Landscaping Regulations,**" is a lengthy ordinance to be adopted by Ordinance No. 19-422, and which would qualify for enactment by reference.

NOW, THEREFORE, BE IT RESOLVED, the Mayor and Town Council of the Town of Pinetop-Lakeside hereby declare that the document entitled "**Town Code Amendments to Title 17, Chapter 17.92 – Landscaping Regulations,**" is hereby declared a Public Record for the purpose of adoption by reference pursuant to Ordinance No. 19-419, and order that three (3) copies of the document entitled "**Town Code Amendments to Title 17, Chapter 17.92 – Landscaping Regulations,**" be permanently filed in the Office of the Town Clerk and available for public inspection.

PASSED AND ADOPTED at a regular meeting by the Mayor and Town Council of the Town of Pinetop-Lakeside this 4th day of April, 2019.

TOWN OF PINETOP-LAKESIDE



Stephanie Irwin
Mayor

ATTEST:


Remilie S. Miller, MMC
Town Clerk



APPROVED AS TO FORM:



William J. Sims, III
Town Attorney

EXHIBIT "A"

Chapter 17.92

LANDSCAPING REGULATIONS

Sections:

17.92.010 Purpose.

17.92.020 Definitions.

17.92.030 General regulations.

17.92.040 Tree protection.

17.92.050 Landscaping.

17.92.060 Walls and screening devices.

17.92.010 Purpose.

These landscaping regulations serve to help provide for the well-designed landscape treatment of all developments while preserving the existing flora within the Town. Landscaping shall provide for the treatment of spaces near lot boundaries, especially boundaries which border public streets and roads. This will improve the overall quality of the development, will strive to preserve mature, healthy trees and shrubs which are not in direct conflict with reasonable, logical building needs, and will provide for consistency in design standards for landscaping of public right-of-way. Further, landscaping shall provide for the restoration of areas subject to cuts and scarring, particularly when such scarring is on a hillside or otherwise open to view from adjacent areas or roadways. Landscaping materials, including ground covers, shrubs, and trees, further facilitate the control of erosion and the reduction of glare and dust, as well as the visual softening of building masses. Walls and screening devices allow for the separation of incongruous uses and for the buffering of intensive activities. Landscaping, together with walls and screening devices, helps to provide privacy and enhance property values. (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))

17.92.020 Definitions.

A. "Landscaping" The process of making a yard or other piece of land more attractive by altering the existing design, adding ornamental features, and planting trees and shrubs may include trees, shrubs, ground cover, vines, walkways, ponds, fountains, sculptures, decorative paving and other organic and inorganic materials used for creating an attractive appearance, while limiting any increase in soil impermeability.

B. ~~"Caliper" means the diameter, in inches, of the trunk of a tree as measured twelve (12) inches above soil level. (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))~~

17.92.030 General regulations.

A. This section shall apply to all new buildings, to all significant new uses of land, and to addition of at least twenty-five (25%) percent to existing buildings and uses in all commercial

districts, except R-Low 1 Acre, R1-4, R1-6, R-2, R-3, MH 4, MH 6, when not being developed as a planned unit development (PUD).

B. Any proposed use or building shall be shown on a site plan indicating the location of existing and proposed buildings, parking areas, street improvements, and screening devices. Nine (9) copies of the site and landscaping plan (the landscaping plan may be presented on the site plan or on a separate copy) shall be submitted to the Community Development Department at the time of the application for site plan review, ~~showing the location, size, species and spacing of ground cover or ground treatment in all areas as well as buildings and pavement. The Design Review Board shall review and approve the site plan and landscaping plan prior to the issuance of a building permit for the property.~~

C. Landscape, watering devices, walls and screening structures shall be installed in accordance with the approved final landscape and site plan prior to issuance of a certificate of occupancy for the building or use. ~~A cash bond, cash deposit or irrevocable letter of credit, in an amount to guarantee the installation of the landscaping and/or watering devices within six (6) months, may be permitted by the Director in lieu of the immediate planting of materials when weather or other construction makes immediate planting infeasible.~~ (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))

17.92.040 Tree protection.

A. Healthy ~~existing~~ trees located outside building pads shall be preserved to the extent reasonably feasible. Buildings, lot configurations, and parking layouts shall be designed to minimize the disturbance to healthy ~~significant existing~~ trees.

B. Before any lot clearing, grubbing, site preparation or any building construction commences, the Town Forester shall visit the site with the developer to determine which trees should remain undisturbed and which trees, due to poor health, crowding, or unavoidable development conflicts, should be removed ~~cut down~~.

C. During the construction phase, caution shall be applied with all building activities near any trees or plants which the Town Forester and developer determined should be protected.

1. Prior to and during construction, barriers shall be erected around all at risk ~~protected existing~~ trees with ~~such barriers to be of~~ orange fencing a minimum of four (4) feet in height, secured with metal T-posts, no closer than six (6) feet ~~installed at the drip line~~ from the trunk ~~or one-half (1/2) of the drip line, whichever is greater~~. There shall be no storage or movement of equipment, hazardous material, debris or fill within the fenced ~~tree protection zone~~.

a. Large property areas containing trees and separated from construction or land clearing areas, road rights-of-way and utility easements by a minimum of ten (10) feet may be ribboned off, rather than erecting protective fencing around each tree. This may be accomplished by placing metal T-post stakes a maximum of fifty

(50) feet apart and tying ribbon or rope from stake to stake along the outside perimeters of such areas being cleared.

~~2.—All protected trees must be pruned to American National Standards Institute (ANSI A300) standards.~~

~~3.—Within the drip line of any protected existing tree, there shall be no cut or fill over a four (4) inch depth unless a qualified arborist or forester has evaluated and approved the disturbance.~~

~~4.—During the construction stage of development, the applicant shall prevent the cleaning of equipment or material or the storage and disposal of waste material such as paints, oils, solvents, asphalt, concrete, motor oil, or any other material harmful to the life of a tree within the drip line of any protected tree or group of trees.~~

25. No damaging attachment, wires, signs or permits may be fastened to any protected tree.

~~6.—Large property areas containing protected trees and separated from construction or land clearing areas, road rights of way and utility easements by a minimum of ten (10) feet may be ribboned off, rather than erecting protective fencing around each tree as required in subsection (C)(1) of this section. This may be accomplished by placing metal T-post stakes a maximum of fifty (50) feet apart and tying ribbon or rope from stake to stake along the outside perimeters of such areas being cleared.~~

37. During the installation of utilities, irrigation lines or any underground fixture requiring excavation, feasible efforts shall be used to protect the root systems of the trees. deeper than six (6) inches shall be accomplished, where underlying soil conditions make this feat possible, by boring under the root system of protected existing trees at a minimum depth of twenty four (24) inches. The auger distance is established from the face of the tree (outer bark) and is sealed from tree diameter at forty two (42) inches above ground level (diameter breast height (dbh)) as described in the chart below. Figure 1 below gives examples of when root boring is or is not required. Figure 2 shows proper root boring methods.

Tree Diameter at DBH (in inches)	Auger Distance from Face of Tree (in feet)
5—9	5
10—14	10
15—19	12
Over 19	15

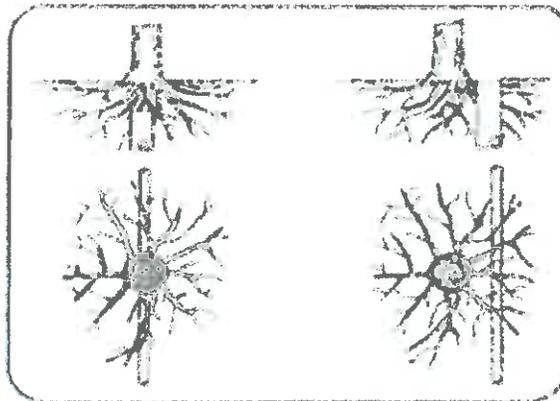
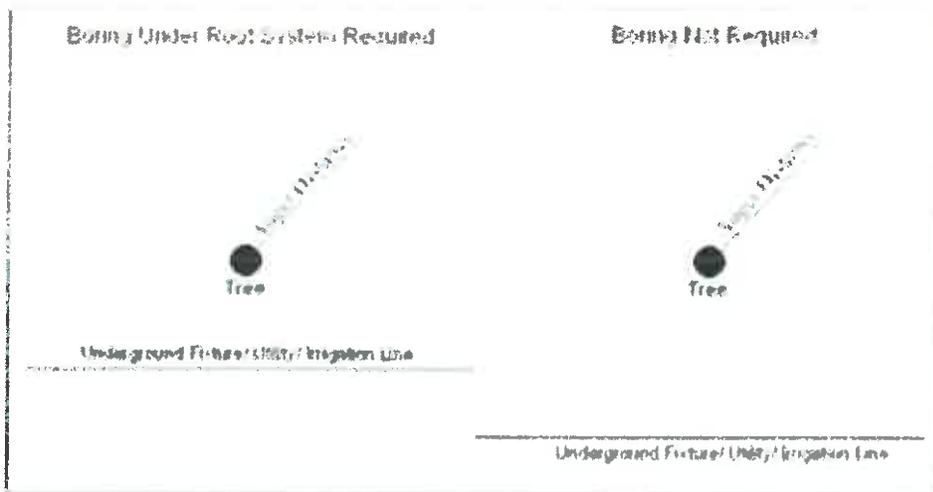


Figure 2—Root Boring

D. Failure to follow these tree protection guidelines will result in the property owner, developer, contractor or other violator being subject to civil violation as described in Section [17.92.050\(G\)](#). (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))

17.92.050 Landscaping.

A. Standards of Design and Development.

1. Landscaping shall be established along the street frontages in the area between the public sidewalk ~~or bike path and any buildings~~, structures, parking areas, loading areas, or actual storage areas on the property except for necessary driveways.

a. A landscaped area of at least ten (10) feet in width shall be located between any street property line and any parking area.

b. Where other buildings on nearby parcels are built to the street property line, the required landscaping along the frontage may be modified or located elsewhere

with the approval of the Community Development Director Design Review Board.

2. Underground irrigation is required to all landscaped areas. Provisions shall be made for water service to all landscape areas requiring water. All irrigation, pruning, fertilization and care shall be in accordance with International Society of Arboriculture (ISA) Plant Health Care (PHC) guidelines.

3. Street trees shall be required along all arterial streets as specified in the "Tree Selection List" in Table 2 of this section.

a. Street trees shall be a minimum two (2) inch diameter caliper.

b. Street trees shall be planted so that on average there exists at least one (1) tree for every twenty (20) feet of lineal arterial street frontage unless the species calls for greater separation as determined in Table 3. ~~Street trees should be spaced according to each species' needs (see Table 3). If the recommended spacing list recommends that a species be planted in clusters of trees, this species should be planted in clusters of three (3) or more trees. Undisturbed healthy existing trees with a six (6) inch or greater caliper shall count as one (1) planted tree.~~

e. ~~Street trees located between the street property line and the curb adjacent to reverse frontage residential subdivisions shall be planted and staked in accordance with Figure 3, "Standard Tree Planting," of this section.~~

4. Common area landscaping and amenities shall ~~be installed, including at least one (1) or more two (2) inch diameter caliper shade or ornamental trees for each dwelling unit, prior to issuance of any occupancy permits in a residentially zoned planned unit development.~~

5. In addition to street tree requirements, all new commercial uses shall provide the following ~~amounts of~~ landscaping:

a. One (1) ~~ornamental or shade~~ tree for each eight hundred (800) square feet of hard surface paving or parking area; and

b. One (1) shrub for each two hundred (200) square feet of hard surface paving or parking area.

c. In addition to the above requirements, one (1) tree (~~minimum one (1) inch caliper~~) must be planted or one (1) existing tree (~~minimum four (4) inch caliper~~) must remain undisturbed for each parking space in excess of the minimum parking requirements as required in Section 17.104.090, Parking regulations.

d. The planting of grass shall allow for the following adjustments to the number of required trees and shrubs planted:

Square feet of grass planted	Reduction in trees and shrubs required
500 to 1000	20%
1001 to 2000	40%
2001 or greater	50%

e. Any additional adjustments to this section will require approval of the Planning and Zoning Commission.

~~6. Required front and street side yards shall be landscaped, except for necessary driveways.~~

~~67. No person, or entity firm, or corporation shall strip, excavate or otherwise remove top soil except in connection with the construction or alteration of a building on such premises and excavation or grading incidental thereto.~~

78. The approved landscaping plan must be completed and implemented in the ground within eight (8) six (6) months of the issuance of the certificate of occupancy. Failure to comply install the approved landscaping improvements within this six (6) month period will result in the issuance of a civil violation to the property owner, as described in subsection G of this section.

Figure 3—Standard Tree Planting

CORRECT

Leader and buds left unpruned

Prune only dead, damaged or crossing branches that rub

Sighted upright from all angles

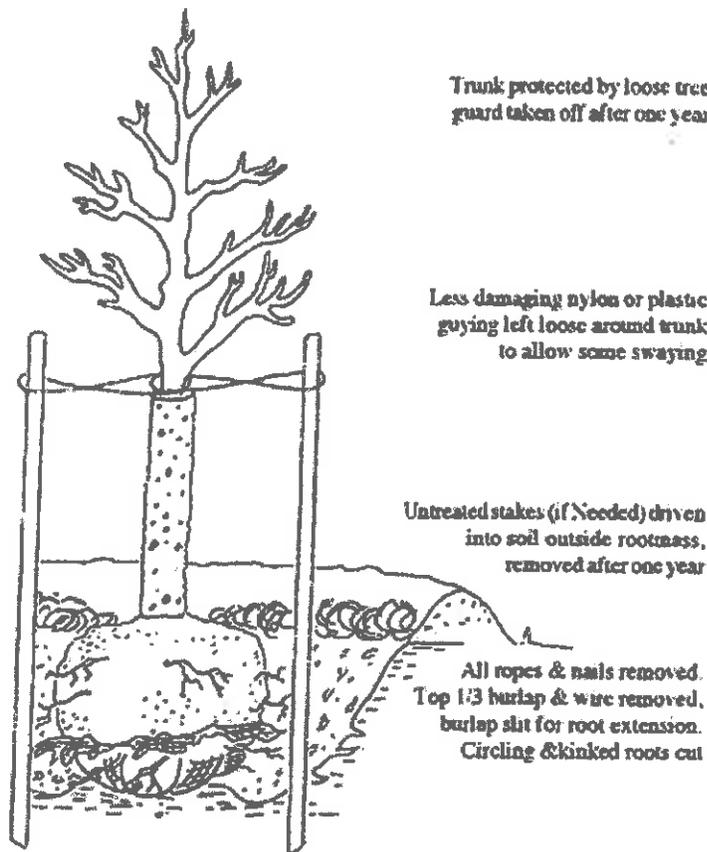
Firm creates basin to encourage water penetration

2-6" organic mulch kept away from trunk, no black plastic layer

Only existing soil used to backfill

Sides of hole broken up to make it easier for root growth

Planting hole 2-3 times rootball width, depth slightly less than rootball. Plant tree on firm pedestal & 1" higher than surrounding grade



Trunk protected by loose tree guard taken off after one year

Less damaging nylon or plastic guying left loose around trunk to allow some swaying

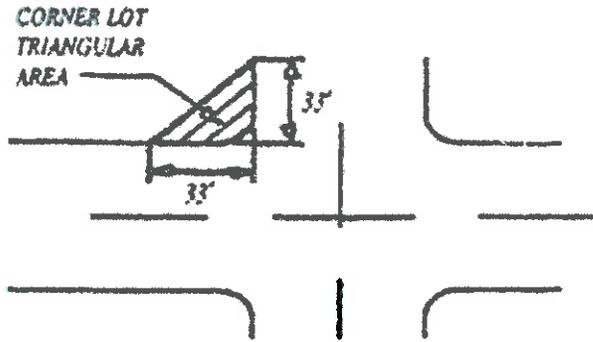
Untreated stakes (if Needed) driven into soil outside rootball, removed after one year

All ropes & nails removed. Top 1/3 burlap & wire removed, burlap slit for root extension. Circling & kinked roots cut

Adapted from American Forests Magazine (March/April 1994)

1. No tree shall be planted within thirty-three (33) feet of any street corner, measured from the point of nearest intersecting curbs. Trees must be kept pruned so that no branches below eight (8) feet in height protrude within a ten (10) foot distance of any street corner. See Figure 4.

Figure 4—Tree Placement Near Intersections



2. ~~Every Owners~~ of any tree overhanging any street or right-of-way within the Town shall properly prune ~~or have properly pruned~~ the branches of such tree(s) so that the said branches shall not ~~severely~~ obstruct the light from any street lamp or obstruct the view of any intersection.
 - a. ~~There~~ Tree branches shall be a clearance ~~standard~~ space of fifteen (15) feet above any highway or street surface and eight (8) feet above any sidewalk surface. ~~Said Owners of trees on private property shall remove or have removed all dead, diseased, or dangerous trees, or broken or decayed limbs and branches which constitute a hazard to the safety of the public.~~
3. No tree, shrub, or other plant shall be planted within five (5) feet of any fire hydrant ~~so that adequate spacing and clearance is allowed in cases of emergency. Additionally, the corresponding fire district may require spacing greater than five (5) feet.~~
4. No tree, shrub or other plant shall be planted within fifteen (15) feet of any traffic regulatory signal or sign ~~in order to allow the necessary line of sight or vision of the traffic regulatory signal or sign.~~
5. No trees may be planted under or within five (5) lateral feet of any overhead utility wire or line, or within three (3) feet of any underground utility line.

C. Maintenance.

1. Landscaped areas shall be reasonably maintained ~~by the owner or the lessee of the property as to pruning, trimming, watering, or other requirements~~ to create an attractive appearance for the development.

2. Any plant materials dead, dying or hazardous not surviving shall be replaced within thirty (30) days of its demise.

3. Lack of maintenance shall constitute a violation of the zoning regulations, and property owners may will be subject to a civil violation as described in subsection EG of this section.

D. Abuse of Trees. No person shall damage, post upon, cut, or carve into or otherwise damage any tree. No person shall attach any rope, wire, nails, advertising posters, or other contrivance to any tree, allow any gaseous, liquid, or solid substance which is harmful to such trees to come in contact with them, or set fire or permit any fire to burn when such fire or the heat thereof will injure any portion of any tree. Violators will be subject to civil violation as described in subsection G of this section.

E. Tree Selection List. The following list of coniferous and deciduous trees being suggested for use in landscape planning have been selected on the basis of growth rate, adaptability to local environmental conditions, aesthetics and compatibility. Other trees may also be appropriate for this area and should be considered as they are suggested.

Common Name	Scientific Name	Common Name	Scientific Name
Conifers			
White Fir	<i>Abies concolor</i>	Pinon Pine	<i>Pinus edulis</i>
Norway Spruce	<i>Picea abies</i>	Limber Pine	<i>Pinus flexilis</i>
Engelmann Spruce	<i>Picea engelmannii</i>	Austrian Black Pine	<i>Pinus nigra</i>
White Spruce	<i>Picea glauca</i>	Ponderosa Pine	<i>Pinus ponderosa</i>
Black Hills Spruce	<i>Picea glauca</i> var. <i>densata</i>	Southwestern White Pine	<i>Pinus strobiformis</i>
Colorado Blue Spruce	<i>Picea pungens</i>	Douglas Fir	<i>Pseudotsuga menziesii</i>
Bristlecone Pine	<i>Pinus aristata</i>	-	-
Deciduous Trees			
Amur Maple	<i>Acer ginnala</i>	Arizona Sycamore	<i>Platanus wrightii</i>
Rocky Mountain Maple	<i>Acer glabrum</i>	Silver Leaf Poplar	<i>Populus alba</i>
Big Tooth Maple	<i>Acer grandidentatum</i>	Cottonless Cottonwood	<i>Populus deltoides</i>
Red Maple	<i>Acer rubrum</i>	Theves Poplar	<i>Populus nigra</i>
Silver Maple	<i>Acer saccharinum</i>	Swedish Aspen	<i>Populus tremula</i>
Elder Trees	<i>Acer spp.</i>	Aspen	<i>Populus tremuloides</i>
Black Alder	<i>Alnus glutinosa</i>	American Wild Plum	<i>Prunus americana</i>
Birch	<i>Betula spp.</i>	Flowering Plum	<i>Prunus blireiana</i>

Common Name	Scientific Name	Common Name	Scientific Name
Northern Catalpa	Catalpa speciosa	Purple Leaf Plum	Prunus cerasifera
Hackberry	Celtis occidentalis	Flowering Cherry	Prunus serulata
Eastern Redbud	Cercis canadensis	Choke Cherry	Prunus virginiana
Western Redbud	Cercis occidentalis	Flowering Pear	Pyrus calleryana
Smoketrees	Cotinus spp.	Scarlet Oak	Quercus coccinea
Hawthorn	Crataegus spp.	Gambel Oak	Quercus gambelii
Green Ash	Fraxinus pennsylvanica	Northern Red Oak	Quercus rubra
Locust Spp.	Gleditsia spp.	Black Locust	Robinia pseudoacacia
Honey Locust	Gleditsia triacanthos	Golden Willow	Salix alba var vitellina
Norway Maple	Acer plantanoides	Weeping Willow	Salix babylonica
Walnut Trees	Juglans spp.	European Mountain Ash	Sorbus aucuparis
Apple	Malus domestica	American Basswood/ Linden	Tilia americana
Flowering Crabapple	Malus floribunda	-	-

Species	Recommended Spacing
American Basswood	30 feet
American Wild Plum	5—10 feet
Amur Maple	10 feet
Apple	20 feet (15 feet for Dwarf Apple)
Arizona Sycamore	30 feet
Arizona Walnut	30 feet
Aspen	2—3 feet (clustering recommended), 20 feet between clusters
Austrian Black Pine	20 feet
Big Tooth Maple	20 feet
Birch	5—6 feet (clustering recommended), 20 feet between clusters
Black Hills Spruce	12—16 feet (clustering recommended)
Black Locust	30 feet
Box Elder	20 feet
Bristlecone Pine	20—30 feet
Cherry	10 feet

Table 3
 Recommended Spacing List

Spacing shall meet minimum standards as defined in Section [17.96.070](#).

Species	Recommended Spacing
Colorado Blue Spruce	8 — 12 feet (clustering recommended)
Douglas Fir	15 feet in clusters or 30 feet alone
Eastern Redbud	15 feet
Elder Trees	1 — 3 feet (clustering recommended)
Engelmann Spruce	12 — 16 feet (clustering recommended)
English Hawthorne	20 feet
European Mountain Ash	20 feet
Flowering Crabapple	10 feet
Flowering Pear	20 feet
Flowering Plum	20 feet
Fremont Cottonwood	40 feet (not suitable above 6,900 feet elevation)
Gambel Oak	3 — 6 feet (clustering recommended), 40 feet between clusters
Golden Willow	30 feet
Hackberry	20 feet
Hawthorn	30 feet
Honeylocust	20 feet
Limber Pine	20 — 30 feet
Locust Spp.	20 feet
New Mexico Elder	2 — 5 feet (clustering recommended)
New Mexico Locust	2 — 5 feet (clustering recommended)
Northern Catalpa	30 feet
Northern Red Oak	30 feet
Norway Spruce (Not Dwarf)	30 feet
Pin Oak	15 — 20 feet
Pinon Pine	20 — 30 feet
Ponderosa Pine	40 feet
Purple Smoke Tree	10 feet
Red Leaf Maple	30 — 40 feet
Rocky Mountain Maple	20 feet
Scarlet Oak	30 feet
Silver Leaf Maple	30 feet
Sugar Maple	30 feet
Sycamore or London Planetree	30 — 40 feet
Weeping Willow	40 feet

Table 3
— Recommended Spacing List

Spacing shall meet minimum standards as defined in Section [17.96.070](#).

Species	Recommended Spacing
Western Chokecherry	10 feet
Western Redbud	15 feet

F. — Shrub Selection List. The following list of shrubs being suggested for use in landscape planning have been selected on the basis of adaptability to local environmental conditions, aesthetics and compatibility. Other shrubs may also be appropriate for this area and should be considered as they are suggested.

Table 4 — Shrub Selection List

Shrub Selection List			
Common Name	Scientific Name	Common Name	Scientific Name
Bearberry/Kinnikinnick	<i>Arctostaphylos uva-ursi</i>	Oregon Grape Holly	<i>Mahonia aquifolium</i>
Butterfly Bush	<i>Buddleia davidii</i>	Creeping Grape Holly	<i>Mahonia repens</i>
Redtwig Dogwood	<i>Cornus stolonifera</i>	Garden Peony	<i>Paeonia lactiflora</i>
Creeping Cotoneaster	<i>Cotoneaster adpressus</i>	Mock Orange	<i>Philadelphus virginialis</i>
Coral Beauty Cotoneaster	<i>Cotoneaster dammeri</i>	Golden Bamboo	<i>Phyllostachys aureasulcata</i>
Dwarf Burning Bush	<i>Euonymus alatus compactus</i>	Ninebark	<i>Physocarpus opulifolia</i>
Creeping Euonymus	<i>Euonymus fortunei</i>	Purple Leaf Sandcherry	<i>Prunus cistena</i>
Hardy Hydrangea	<i>Hydrangea paniculata</i>	Roses	<i>Rosa spp.</i>
Holly	<i>Ilex spp.</i>	Snowmound	<i>Spiraea nipponica</i>
Privet Species	<i>Ligustrum spp.</i>	Anthony Waterer	<i>Spiraea X bumalda</i>
Hall's Honeysuckle	<i>Lonicera japonica</i>	Bridal's Wreath	<i>Spiraea cantoniensis</i>
Scarlet Trumpet Honeysuckle	<i>Lonicera sempervirens</i>	Lilaes	<i>Syringa vulgaris</i>
Bush Honeysuckle	<i>Lonicera tartarica</i>	Snowball Bush	<i>Viburnum opulis sterile</i>
Tulip Magnolia	<i>Magnolia soulangiana</i>	Rocky Mountain Maple	<i>Acer glabrum</i>
Saskatoon Alder Leaf/ Serviceberry	<i>Amelanchier alnifolia</i>	Utah Serviceberry	<i>Amelanchier utahensis</i>
Spirea	<i>Holodiscus dumosus</i>	Sand Penstemon	<i>Penstemon ambiguous</i>

Table 4 — Shrub Selection List			
Shrub Selection List			
Common Name	Scientific Name	Common Name	Scientific Name
Mountain Ninebark	Physocarpus monogymus	Shrubby Cinquefoil	Potentilla fruticosa
Golden Currant	Ribes aureum	Wood's Wild Rose	Rosa woodsii
Silver Buffaloberry	Shepherdia argentea	Snowberry	Symphoricarpos spp.
Peashrub	Caragana	Chokecherry	Prunus virginiana
Potentilla Primrose	Potentilla fruticosa	Russian Mullberry	Morus alba
American Elderberry	Sambucus canadensis	-	-

EG. Civil Violation and Penalty.

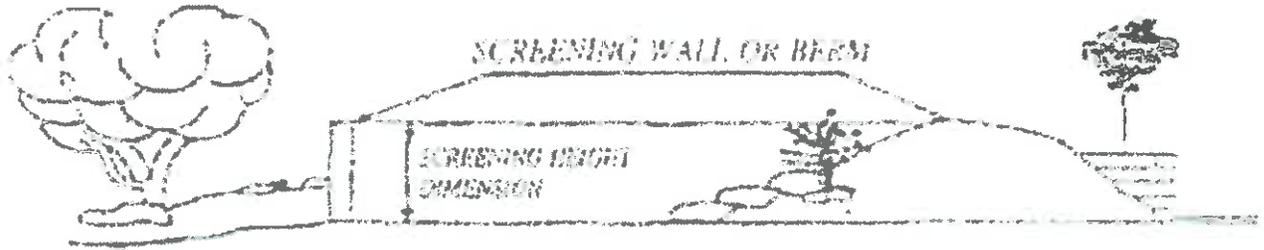
1. Any person, firm, corporation, or other legal entity who violates any provision of this chapter ~~may~~ shall be subject to found responsible for a civil violation.
2. ~~Each day that a violation is permitted to exist will constitute a separate offense. The amount of the civil penalty per day or portion thereof for each violation is as follows:~~
 - a. First violation: a civil penalty not to exceed two thousand five hundred dollars (\$2,500);
 - b. Second or additional violations within twenty-four (24) months: a minimum civil penalty of five hundred dollars (\$500.00) up to a maximum of two thousand five hundred dollars (\$2,500);
3. The imposition of a civil penalty shall not exempt the offender from compliance with the requirements of these regulations.
4. ~~The Community Development Director may also take administrative action against violators which may include posting or recording public notices of violations of this code, issuing an order to halt work on the development until violations are either cured or court proceedings concerning alleged violations are final, the refusal to accept or process applications for building permits or other applications at the site while violations are occurring or during the pendency of court proceedings on alleged violations.~~
45. The Community Development Director may also request that the court issue an injunction against a violator ~~to prevent further violations or irreparable harm to persons or property when the circumstances warrant it.~~ (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))

17.92.060 Walls and screening devices.

A. Definitions.

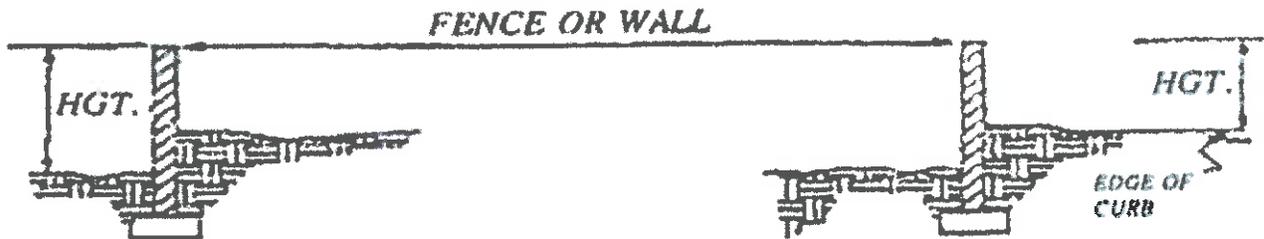
1. "Height of screening devices" shall be measured from the highest finished adjacent grade of the element to be screened.

Figure 5 – Screening Wall Heights



"Height of walls and fences in residential districts" shall be measured from the lowest of the two (2) grades adjacent to the wall or fence; except when the wall or fence is adjacent to an alley or street right of way which had a higher grade than that on the adjacent site. For such situations, the height of the fence or wall shall be measured from the top of the curb or top of crown of road or alley where no curb exists.

Figure 6 – Fence/Wall Heights



2. "Screening devices" are any structures installed to conceal areas used for refuse, mechanical equipment, parking, service and loading bays or lanes, multi-family habitation and commercial or industrial activities, from adjacent residential districts and from street view.

3. "Walls or fences" are any structures intended for the use of confinement, prevention of intrusion, boundary identification, or screening of an activity.

B. Standards of Design and Development.

1. All outdoor storage areas for materials, trash, mechanical equipment, vehicles, or other similar items shall be screened from view by a minimum six (6) foot high wall or fence constructed of or finished with materials to match the main building of the site.
2. Roof-mounted mechanical equipment shall be screened by parapet walls or other screening device to be no lower in height than six (6) inches below the height of the

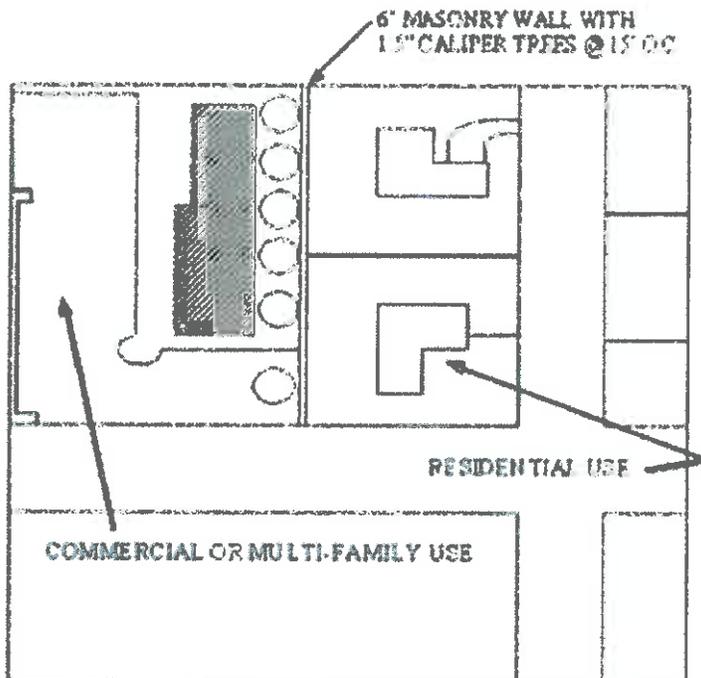
~~mechanical equipment on side, front or rear walls, whichever are adjacent to public streets or residential districts.~~

3. All loading, delivery, and service bays shall be screened from street view by a wood, brick, slump block, masonry wall with stucco or mortar wash, or compatible alternatives approved by the Director, and at least six (6) feet in height. ~~(Note: Service bays in automobile service stations shall not front on any public street.)~~

4. A **screening wall** brick, rock, artificial rock, slump block or masonry wall with stucco or mortar wash finish, or compatible alternatives approved by the Director, shall be constructed on a site used for multi-family, or commercial use along any lot lines in common with, or separated only by an alley from, a residence or residential property district. Such walls shall have no vehicular access point into or from an alley and shall be a **suitable minimum** height of **three (3) feet**. Requirements of landscaping in Section [17.92.050\(A\)\(5\)](#) shall also be complied with.

5. Commercial property that directly abuts residential property must properly shield the commercial lot from the residential lots. This shall be accomplished through the use of trees and/or screening masonry walls. Trees **may** must be a ~~minimum one and one half (1 1/2) inch caliper~~ and spaced a **maximum of** fifteen (15) feet from one another. The trees must run the entire length of the border shared with residential property. The masonry screening wall shall be a minimum six (6) foot height and must run the entire length of the border shared with residential property.

Figure 7 — ~~Separation of Commercial/Multi Family Use from Residential Use~~



6. In all residential and rural districts with residential uses, the maximum height of any freestanding walls or fences in a required front yard setback shall be three and one half (3-1/2) feet except as provided in the zoning regulations where screening of a private swimming pool requires a greater height. In the areas behind the required front yard setback, and the rear and side yards, the maximum height of such walls shall be six (6) feet. See Figure 8.

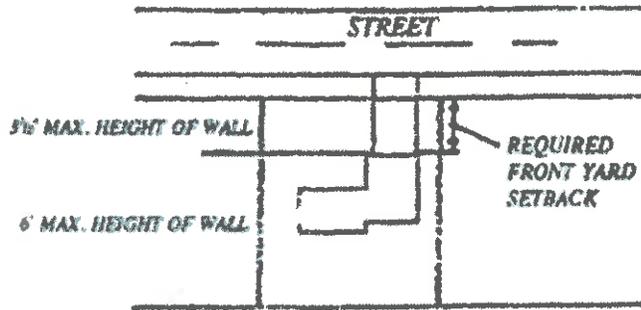


Figure 8— Fence Heights

67. Exterior boundaries of manufactured home and travel trailer parks shall be provided with a screening masonry wall having a minimum height of five (5) feet and a maximum height of six (6) feet and designed in an irregular or undulation pattern to create an attractive border. The land between the wall and the public street improvements shall be landscaped with street trees and other landscaping materials and shall be maintained by the manufactured home or travel trailer park.

8. All outdoor lighting shall be directed down and screened away from adjacent properties and streets. Furthermore, all outdoor lighting shall follow the standards set forth in Section [17.104.140](#). (Ord. 15-393 § 1 (part); Ord. 10-337 § 2 (Exh. A)(part))